

EST 1958

SORENSEN CALDON  
FERRIS BUILDERS

CUSTOM DESIGN HOMES

PROPOSED RESIDENCE FOR:

Mr . & Mrs . Griffin

Lot 1, No.7, Ferry Road,  
Croki. N.S.W. 2430  
D.P.770821

00 COVER SHEET  
01 SITE PLAN  
02 FLOOR PLAN  
02A SUBFLOOR PLAN  
03 ELEVATIONS  
04 ELEVATIONS  
05 SECTIONS  
06 PERSPECTIVES



Perspective

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			<div><div>PETER NIKSIC DESIGN &amp; DRAFTING</div><div></div><div>DOMESTIC, SOLAR PASSIVE DESIGN, 3D IMAGES</div><div>MOBILE : 0421 749 553</div></div>	<div>EST 1958</div> <div>SORENSEN CALDON FERRIS BUILDERS</div> <div>CUSTOM DESIGN HOMES</div> <div>Taree Office (02) 6551 0445</div>	PROPOSED NEW RESIDENCE	FOR Mr . & Mrs . Griffin AT Lot 1, No.7, Ferry Road, Croki. N.S.W. 2430 D.P.770821	BASIX CERT. No.	SCALE	
		DATE						12-08-25	
		PLAN Custom Design					DRAWN	Author	
							CHECKED	Approver	
	ISSUE TO COUNCIL	12-08-25	TITLE COVER SHEET		JOB No.		DWG No.		
REV	DESCRIPTION	DATE					00		

	ISSUE TO COUNCIL	12-08-25
REV	DESCRIPTION	DATE

**PETER NIKSIC DESIGN & DRAFTING**



**DOMESTIC, SOLAR PASSIVE DESIGN,  
3D IMAGES**

**MOBILE : 0421 749 553**

EST 1958

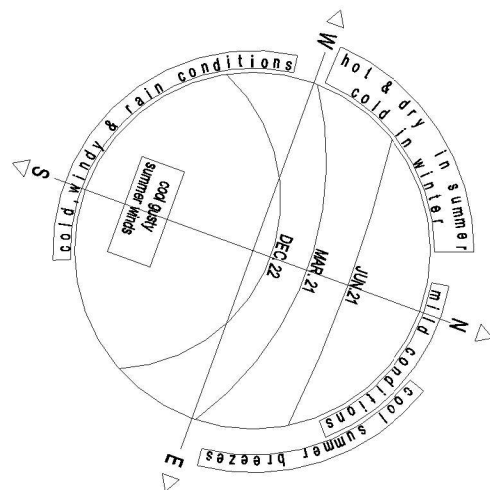
**SORENSEN CALDON  
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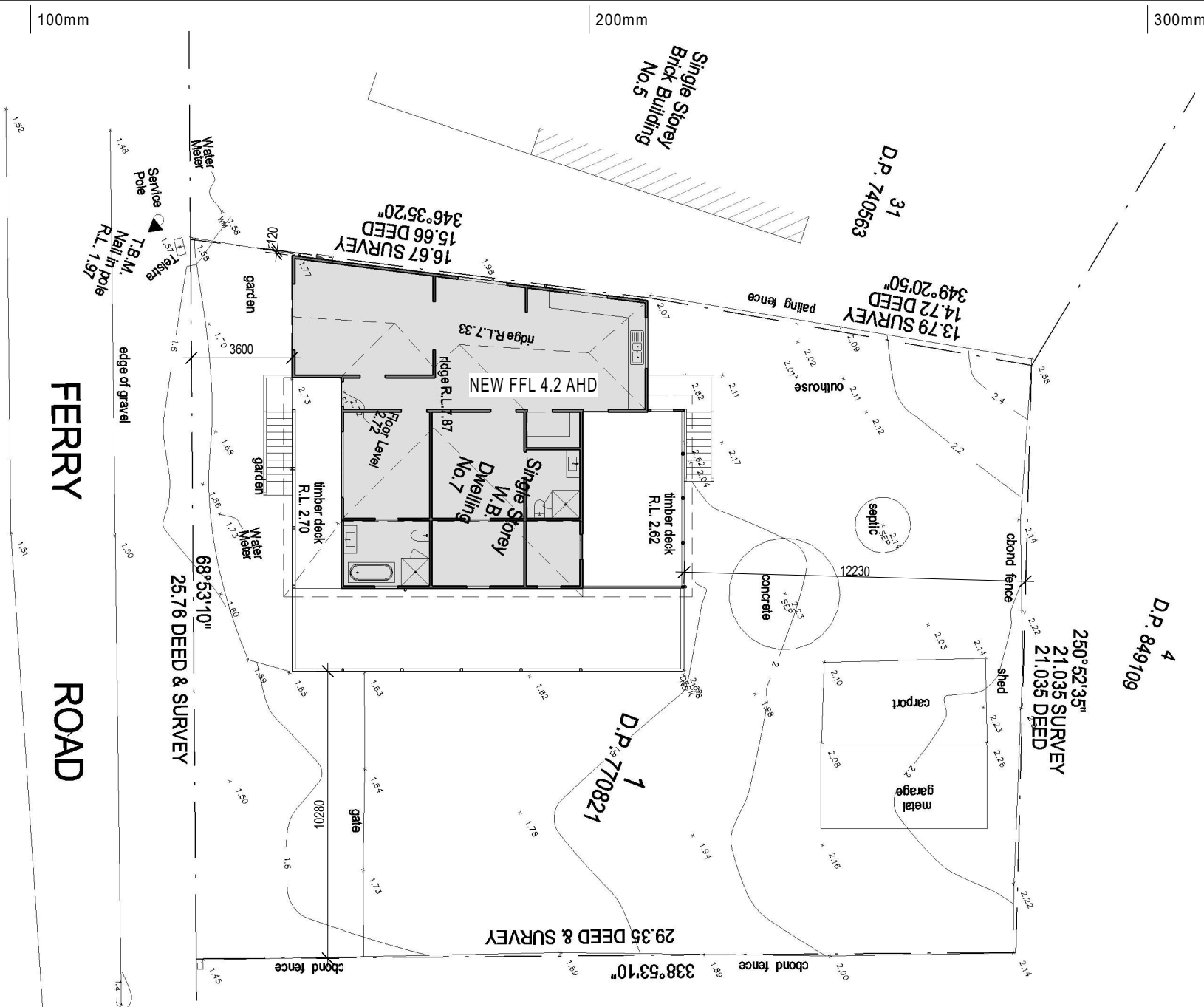
**Taree Office (02) 6551 0445**

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BASIX CERT. No.	SCALE	As indicated
	DATE	12-08-25
PLAN Custom Design	DRAWN	P.N.
	CHECKED	M.H.
TITLE SITE PLAN	JOB No.	DWG No. 01



# SOLAR & WIND CHART

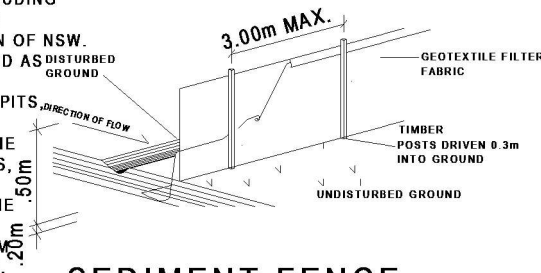


## 1 Site Plan

Scale 1 : 200

## SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60 % FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.



## SEDIMENT FENCE

N.T.S

Current FFL 2.72 AHD

New FFL 4.2 AHD

minimum 1:100 3.9AHD a

FPL4 - Probable max flood level	5.5 m AHD	The highest flood level that could conceivably occur at this location
1% AEP flood level in Year 2100	2.8 m AHD	This level is useful for insurance purpose, refer to your insurance policy and the Insurance Contracts Regulation 1985 (Cwealth)
FPL2 - 1% AEP Flood Level in Year 2100	3.4 m AHD	Adopted 1% flood level
<b>FPL3 - Flood Planning Level</b>	<b>3.9 m AHD</b>	<b>Adopted 1% flood level plus 0.5m freeboard</b>
FPL1 - 5% AEP Flood Level	2.0 m AHD	

0mm

100mm

200mm

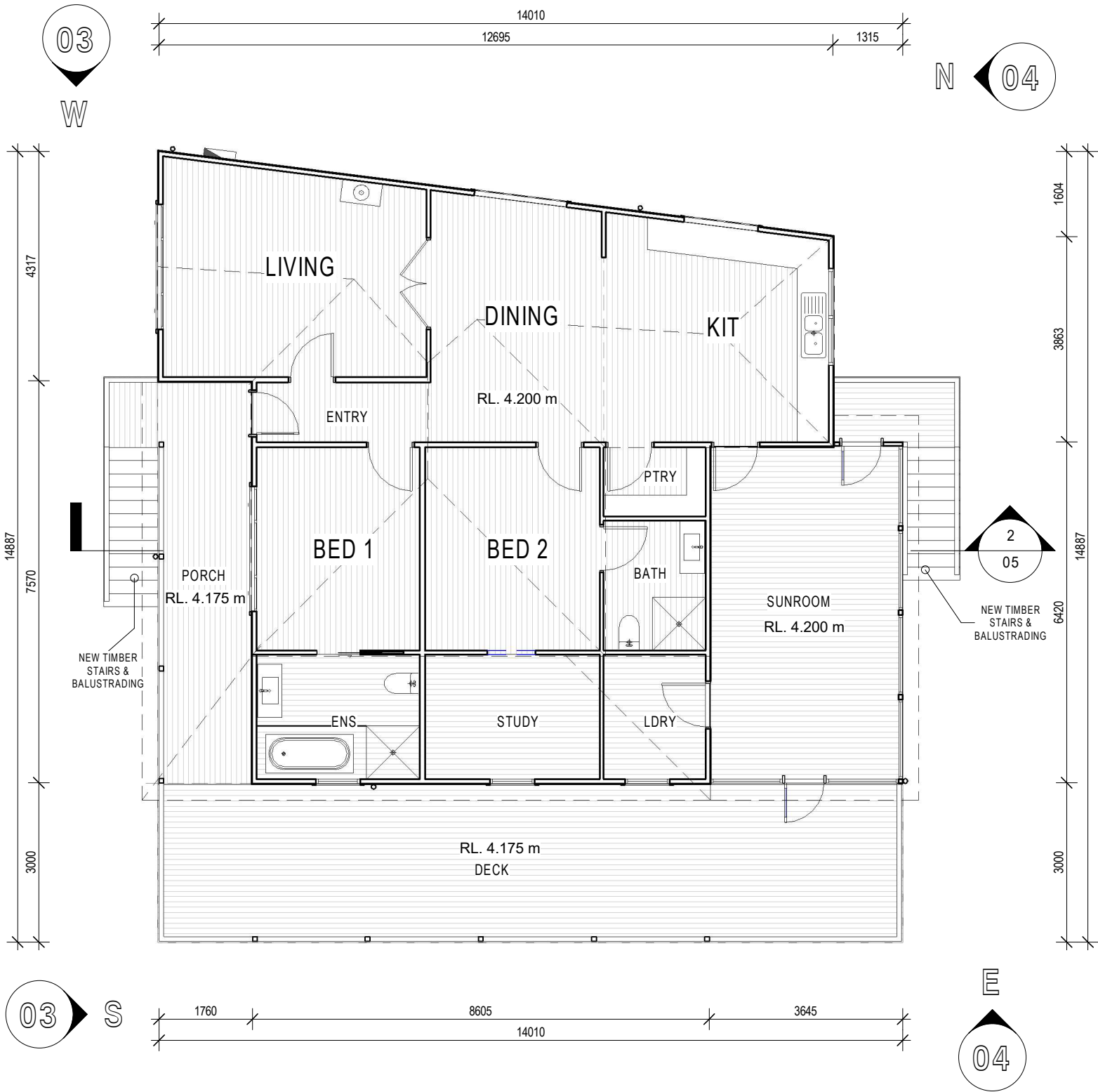
300mm

AREAS

LIVING	113.59
PORCH	13.31
SUNROOM	23.12
DECK	41.81
Grand total: 4	191.83

ROOF	159.60
------	--------

TRUE NORTH



2

Ground Floor Plan

Scale 1 : 100

Current FFL 2.72 AHD  
New FFL 4.2 AHD  
minimum 1:100 3.9AHD a

LEGEND	
350P	350mm ENGAGED BRICK PIERS @ 1500 CTRS MAX
720L	DOOR WITH LIFT OFF HINGES
AC	AIR CONDITIONER CONDENSOR
ACD	A/C DUCT: PARTICLE BOARD 250 X 250mm INTERNAL DIMENSIONS
BAL	1000mm HIGH BALUSTRADE
BG	BOX GUTTER TO DETAIL
BH	BULKHEAD-HEIGHT AS NOTED
BO	BEAM OVER TO STRUCTURAL ENGINEER'S DETAIL
CCO	COLOURED CONCRETE- REFER TO SPEC.
CSD	CAVITY SLIDER DOOR
DP	DOWNPIPE
DPS	DOWNPIPE & SPREADER
DTR	DOUBLE TOWEL RAIL
DWP	DISHWASHER PROVISION
EXH/E	EXHAUST VENT TO EAVE
EXH/W	EXHAUST VENT TO WALL
FFL	FINISHED FLOOR LEVEL
FJ	ASSUMED FLOOR JOIST DIRECTION
FSL	FINISHED SLAB LEVEL
GB	GLASS BLOCKS - NON-FIRE RATED
GBR	GLASS BLOCKS - FIRE RATED
GDP	GARAGE DOOR - PANELLED
GFL	GARAGE FLOOR LEVEL
GM	GAS METER
HH	HEAD OF OPENING-HEIGHT AS NOTED
HRL	1000mm HIGH HANDRAIL
HWS	HOT WATER SERVICE
INS	SOUND PROOFING TO DETAIL
IWD	METAL IN WALL A/C DUCT
JUL	METAL FRAMED JULIET BALCONY
LBO	LINE OF BUILDING OVER
LHW	LOW HEIGHT WALL-HEIGHT AS NOTED
LWC	LIGHTWEIGHT CLADDING-REFER TO SPEC.
MB	RECESSED ELECTRICAL METER BOX
MH	CEILING MANHOLE
MR-3°	METAL ROOF - PITCH AS NOTED
MSD	MIRROR SLIDING DOOR
MW	MICROWAVE SPACE
OF	OVERFLOW
OH	OVERHEAD CUPBOARDS
P	PAVING-REFER TO SPEC.
RB-90	90mm RECESSED BRICKWORK
RH	RANGEHOOD (RECIRCULATING)
RWO	RAIN WATER OUTLET
S	SPOUT
SA	SMOKE ALARM
S/D	SETDOWN
SH	SOAP HOLDER
SP	STEEL POST TO ENGINEER'S DETAIL
ST	SERVICES STACK
	TILED AREA
T	TAP
TD	TIMBER DECK
	TIMBER FLOORING
TB	TIMBER BEAM OVER TO TIMBER MANUFACTURER'S DETAIL
TP	TIMBER POST- (REFER TO ENG'S DWG.)
TPG	TIMBER PERGOLA TO DETAIL
TRH	TOILET ROLL HOLDER
TR-25°	TILED ROOF - PITCH AS NOTED
TS	TIMBER STAIRS AND LANDING
UBO	UNDER BENCH OVEN
USS	UNDER STAIR STORAGE
VJ	VERTICAL CONTROL JOINT
VJ-F	FIRE RATED VERTICAL CONTROL JOINT TO DETAIL DT-646
WM	WASHING MACHINE SPACE
WO	WALL OVEN
NOTE:	
DOWNPIPES TO BUILDING CORNERS ARE TO BE LOCATED 350mm FROM THE CORNER OF THE EXTERNAL WALL TO CENTRE OF THE DOWNPIPE.	
	CEILING FAN
	CEILING FAN LIGHT COMBO

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DOMESTIC, SOLAR PASSIVE DESIGN,  
3D IMAGES

MOBILE : 0421 749 553

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D.P.770821

BASIX CERT. No.

PLAN  
Custom Design

TITLE  
FLOOR PLAN

SCALE

DATE

DRAWN

CHECKED

JOB No.

1 : 100

12-08-25

P.N.

Approver

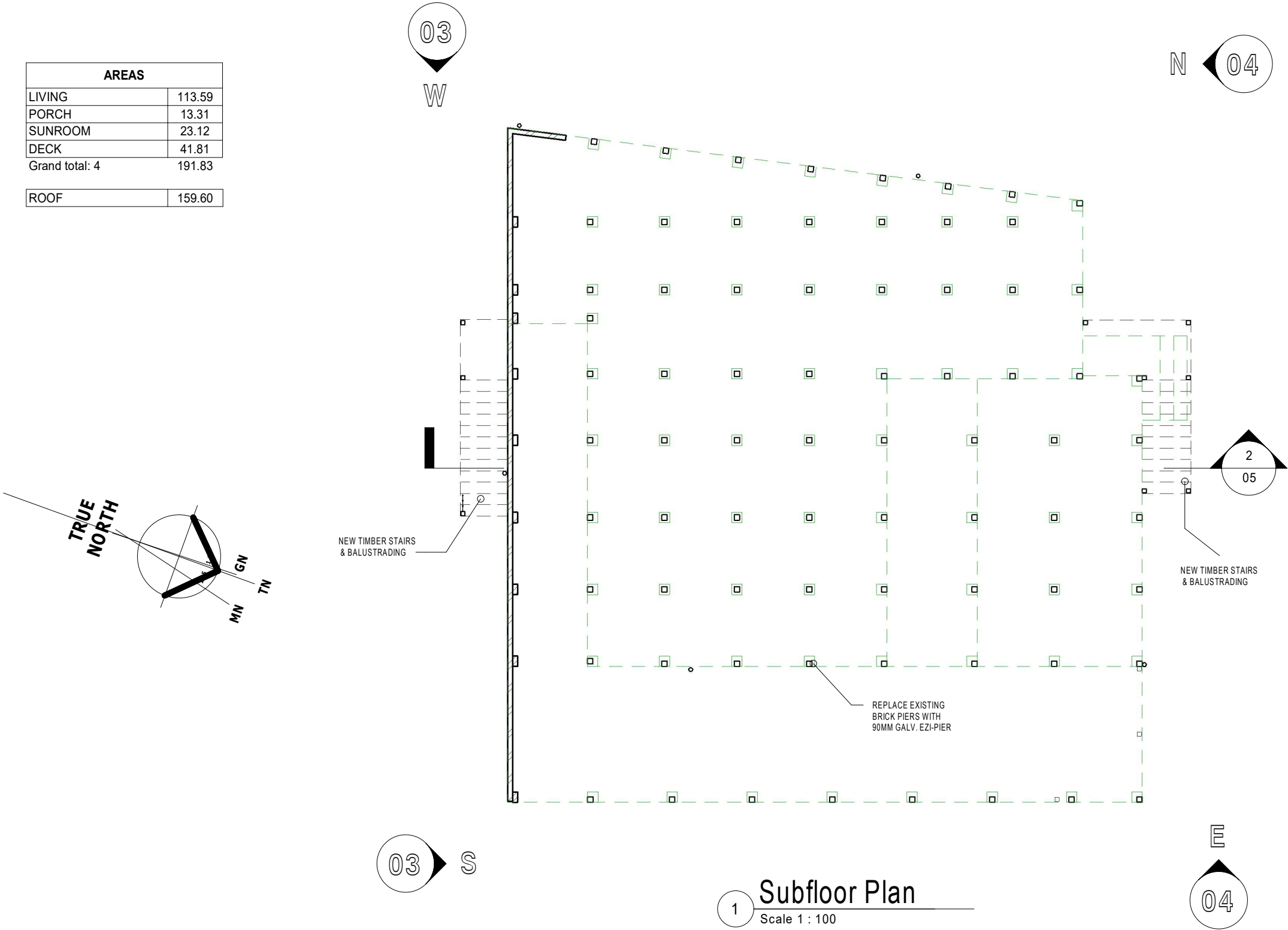
DWG No.

02

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AREAS	
LIVING	113.59
PORCH	13.31
SUNROOM	23.12
DECK	41.81
Grand total: 4	191.83
ROOF	159.60



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S/D	SETDOWN
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BASIX CERT. No.	SCALE	1 : 100
	DATE	12-08-25
	DRAWN	Author
PLAN Custom Design	CHECKED	Approver
	JOB No.	DWG No. 02A
TITLE SUBFLOOR PLAN		

0mm

100mm

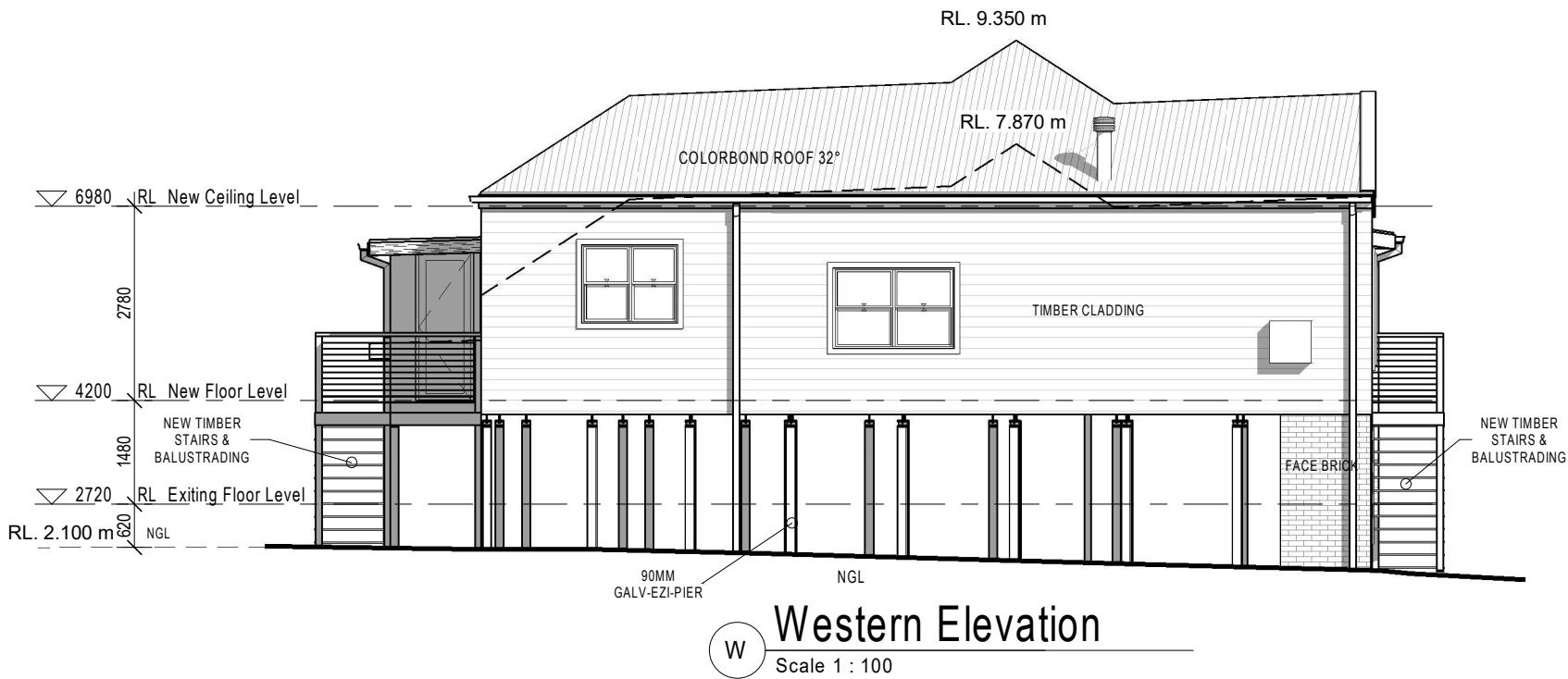
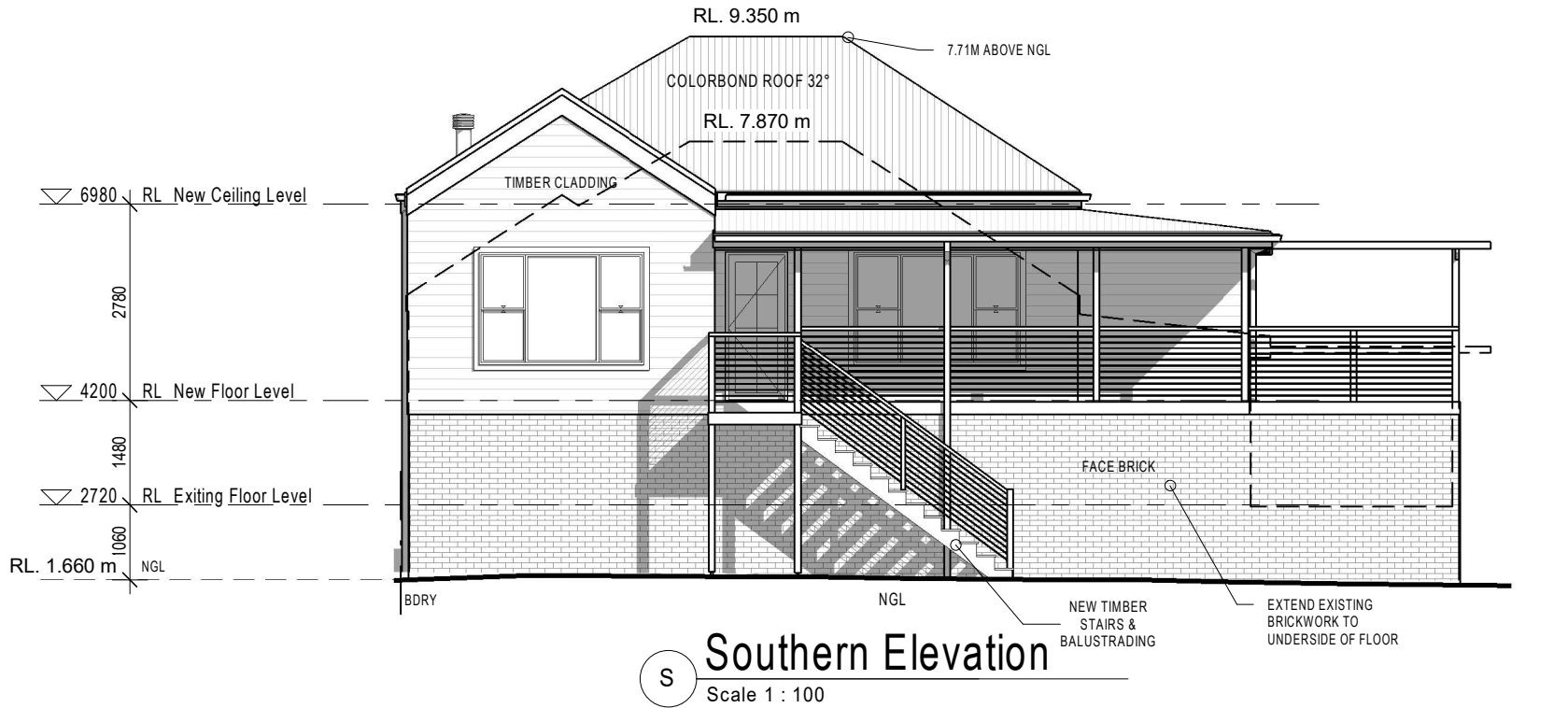
200mm

300mm

100mm

200mm

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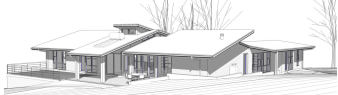
LEGEND	
350P	350mm ENGAGED BRICK PIERS @ 1500 CTRS MAX.
AC	AIR CONDITIONER CONDENSOR
BAL	1000mm HIGH BALUSTRADE
BG	BOX GUTTER TO DETAIL
BOE	BRICK ON EDGE
BW	BRICKWORK - REFER TO EXTERNAL FINISHES SCHEDULE FOR SPEC.
BWR	BRICKWORK RENDERED- REFER TO EXTERNAL FINISHES SCHEDULE FOR SPEC.
CB	CORBEL BRICK BAND-PROJECTION AS NOTED
CCO	COLOURED CONCRETE - REFER TO EXTERNAL FINISHES SCHEDULES FOR SPEC.
CWL	ROOF COWL
DEB	DROP EDGE BEAM TO STRUCTURAL ENGINEER'S DETAIL
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EGL	EXISTING GROUND LINE
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PLAN

Custom Design

TITLE  
ELEVATIONS

SCALE

1 : 100

DATE

12-08-25

DRAWN

Author

CHECKED

Approver

JOB No.

DWG No.

03

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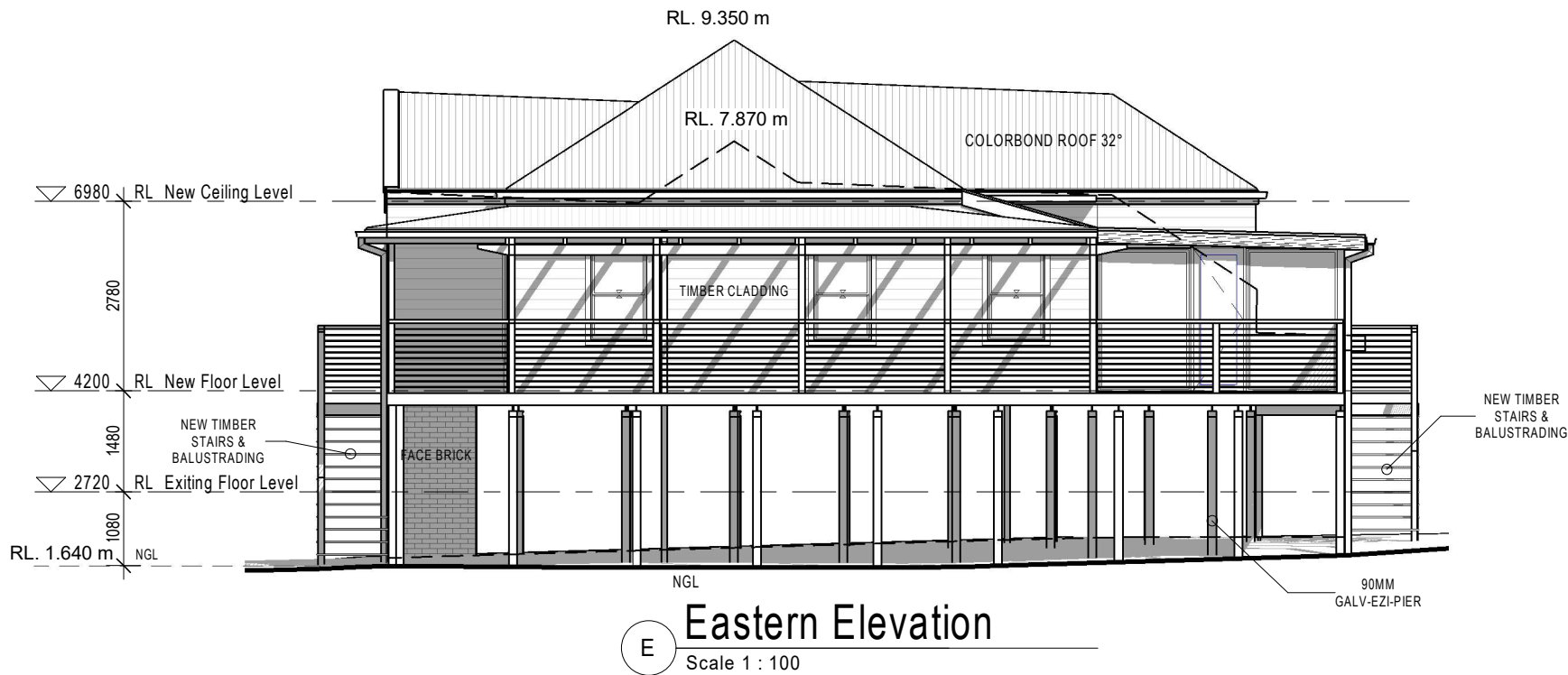
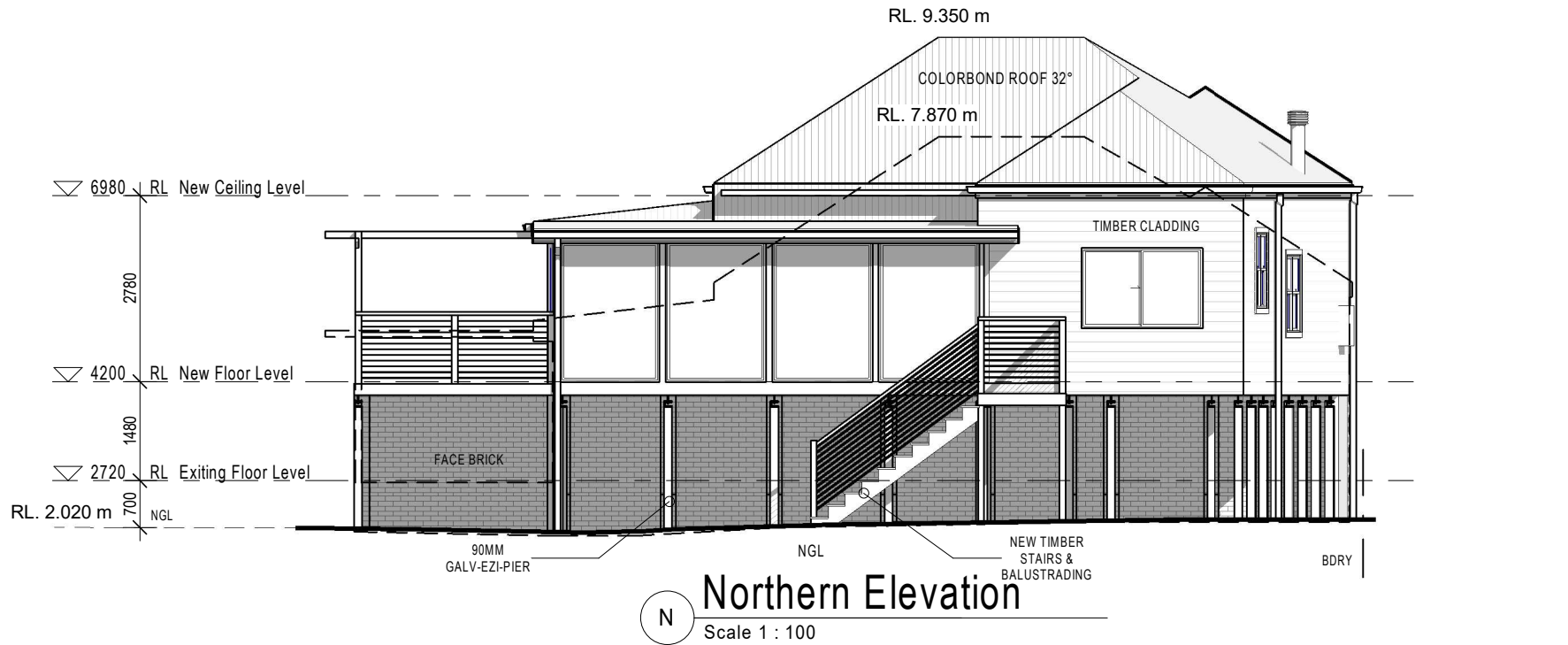
REV DESCRIPTION

DATE

100mm

200mm

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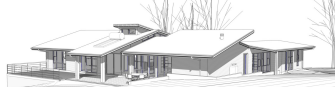
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1 : 100

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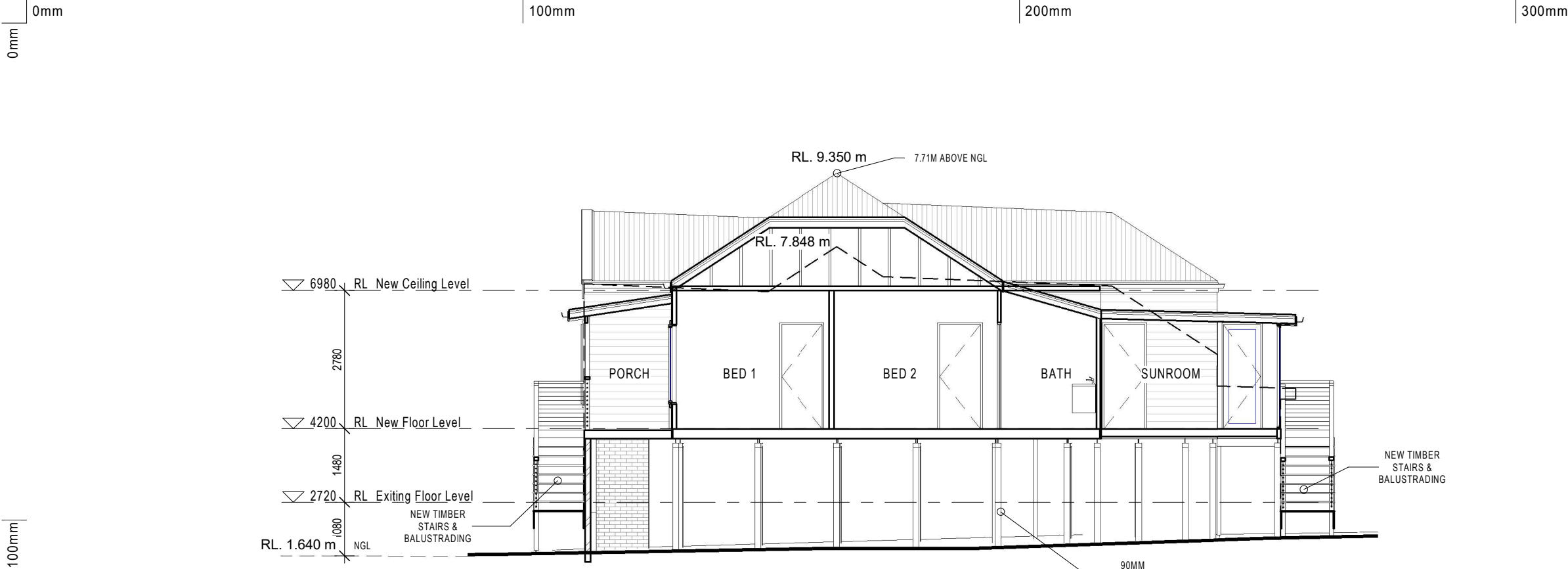
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12-08-25

DESCRIPTION

DATE





2 Section  
Scale 1 : 100

**CONCRETE SLAB NOTE**  
REINFORCED CONCRETE SLAB ACCORDING TO ENGINEERS DETAILS AND COMPLYING WITH AS 2870 - RESIDENTIAL SLABS AND FOOTINGS & AS 3660 - CONCRETE STRUCTURES.

**TERMITE PROTECTION**  
POUR REINFORCED CONCRETE FLOOR SLAB IN ACCORDANCE WITH AS 2870 TO FORM PART OF THE TERMITE BARRIER. PROTECT IN ACCORDANCE WITH AS 3660-1 AND ACCORDING TO MANUFACTURER'S INSTRUCTIONS.

**PEST CONTROL SYSTEM**  
PEST CONTROL SYSTEM – PHYSICAL TERMITE MANAGEMENT SYSTEM INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.

**FRAMING NOTES**  
PREFABRICATED TIMBER WALL FRAMES & TRUSSES TO SUIT A DESIGNED WIND SPEED UP TO N3

**TILING**  
WC- TILES TO FLOOR & SINGLE ROW SKIRTING ( MAX 250MM HIGH) SINGLE ROW OVER VANITY  
BATHROOM- TILES TO FLOOR & WALL TILES FROM FLOOR TO CEILING  
ENS- TILES TO FLOOR, 1200HIGH WALL TILE WITH SHOWER RECESS MAX 2.1M HIGH.  
LDRY- TILES TO FLOOR & SINGLE ROW SKIRTING ( MAX 250MM HIGH) & 400MM HIGH SPLASHBACK TO TUB & WASHING MACHINE  
KITCHEN- 600MM HIGH CERAMIC TILING OVER BENCH TOPS TO KITCHEN SPLASHBACK

NOTE: 90MM PLASTERBOARD CORNICES

NOTE: INSECT SCREENS TO ALUMINIUM WINDOW & SLIDING GLASS DOOR OPENING SASHES

"SPLASH BACK WINDOW TO SITE ON BENCH TOP. UNDER SIDE OF ALUMINIUM IS 903MM + FLOOR FINISH, ALLOW 50MM CLEARANCE TOP AND BOTTOM FOR BENCH TOP AND BASE PANEL OF OVERHEADS. REVEALS ONLY TO SIDES, NO TOP & BOTTOM REVEALS."

GENERAL NOTES

GLAZING TO COMPLY WITH PARTS 8.2.2, 8.3.3 AND PART 8.4 OF THE HOUSING PROVISIONS FOR GLAZING HUMAN IMPACT.

THE BUILDING WILL COMPLY WITH AS3740 & PART 10.2 OF THE HOUSING PROVISIONS. H4P1 WET AREAS WILL BE PROTECTED IN ACCORDANCE WITH 10.2.1 TO 10.2.6 AND 10.2.12. DETAILS AND SET OUT PLAN FOR PROPOSED WET AREAS ON SLAB LAYOUT COMPLY WITH PART 10.2 OF NCC 2022 HOUSING

MECHANICAL VENTILATION TO WC AND KITCHEN WITH EXTERNAL DISCHARGE LOCATION AS PER NCC H4D7 – VENTILATION.

MASONRY ARTICULATION JOINTS AS PER AS 4773.2 & NCC H1D5.

ALL GLAZING WILL BE INSTALLED IN ACCORDANCE WITH AS1288-2021.

WATERPROOFING WILL BE INSTALLED IN ACCORDANCE WITH THE NEW WATERPROOFING STANDARD AS 3740-2022.

LIFT OFF HINGES WILL BE INSTALLED TO W.C.

ALL PROPOSED WORKS WILL COMPLY WITH BCA VOLUME 2 2022.

GENERAL NOTES

ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DRAWINGS AND ALL OTHER RELEVANT CONSULTANTS DRAWINGS.

ALL DIMENSIONS TO BE VERIFIED BEFORE ANY WORK OR FABRICATION COMMENCES.

IF ANY DISCREPANCY, AMBIGUITY, ERROR OR INCONSISTANCY IS FOUND IN THIS SET OF DRAWINGS, REPORT TO SCF BUILDERS BEFORE PROCEEDING.

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT CURRENT AUSTRALIAN STANDARDS AND THE BUILDING CODE OF AUSTRALIA UNLESS OTHERWISE SPECIFIED

TIMBER FRAMING TO BE IN ACCORDANCE WITH AS1684. NATIONAL TIMBER FRAMING CODE

SUB-FLOOR VENTILATION TO COMPLY WITH PART 3.4.1 BCA VOL. TWO

WHERE ROOF TRUSSES ARE NOMINATED DESIGN & SPECIFICATION TO BE BY MANUFACTURER.

BALUSTRADES TO COMPLY WITH BCA PART 3.9.2

POOL SAFETY FENCE TO COMPLY WITH AS1926.1 & SWIMMING POOLS ACT

INSTALLATION OF SMOKE DETECTORS TO COMPLY WITH AS3786.

PLUMBING & DRAINAGE SYSTEMS TO COMPLY WITH AS/NZS3500

TERMITE MANAGEMENT SYSTEMS TO COMPLY WITH AS3660.1

CONCRETE CONSTRUCTION TO BE IN ACCORDANCE WITH AS3600.

MASONRY CONSTRUCTION TO BE IN ACCORDANCE WITH AS3700.

DAMP-PROOF COURSE & FLASHINGS TO BE IN ACCORDANCE WITH AS/NZS 2904.

UNPLASTICISED PVC (UPVC) DOWNPIPE & FITTINGS FOR RAINWATER TO COMPLY WITH AS1273

INSTALLATION OF SHEET ROOF & WALL CLADDING TO COMPLY WITH AS1562.1

ALL PEDESTRIAN SURFACES TO COMPLY WITH AS4586 & AS 1428.1

SKYLIGHTS TO BE INSTALLED IN ACCORDANCE WITH AS4285 & AS3959 ( BUILDING IN BUSHFIRE PRONE AREAS).

GLASS TO BE SELECTED & INSTALLED IN ACCORDANCE WITH AS1288 & AS 2047.

WATERPROOFING OF WET AREAS TO COMPLY WITH AS3740 & AS1684

ELECTRICAL INSTALLATIONS TO COMPLY WITH AS/NZS3000

PLEASE NOTE: THE STANDARDS REFERENCED IN THE TABLE ARE THE RELEVANT VERSION ADOPTED BY THE BCA AT THE TIME THE CONSTRUCTION CERTIFICATE OR COMPLYING DEVELOPEMNT CERTIFICATE APPLICATION WAS LODGED.

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**PETER NIKSIC DESIGN & DRAFTING**

**DOMESTIC, SOLAR PASSIVE DESIGN, 3D IMAGES**

**MOBILE : 0421 749 553**

EST 1958

**SORENSEN CALDON FERRIS BUILDERS**

CUSTOM DESIGN HOMES

Taree Office (02) 6551 0445

PROPOSED NEW RESIDENCE

FOR Mr . & Mrs . Griffin  
AT Lot 1, No.7, Ferry Road,  
Croki. N.S.W. 2430  
D.P.770821

BASIX CERT. No.

PLAN Custom Design

TITLE SECTIONS

SCALE

DATE

DRAWN

CHECKED

JOB No.

1 : 100

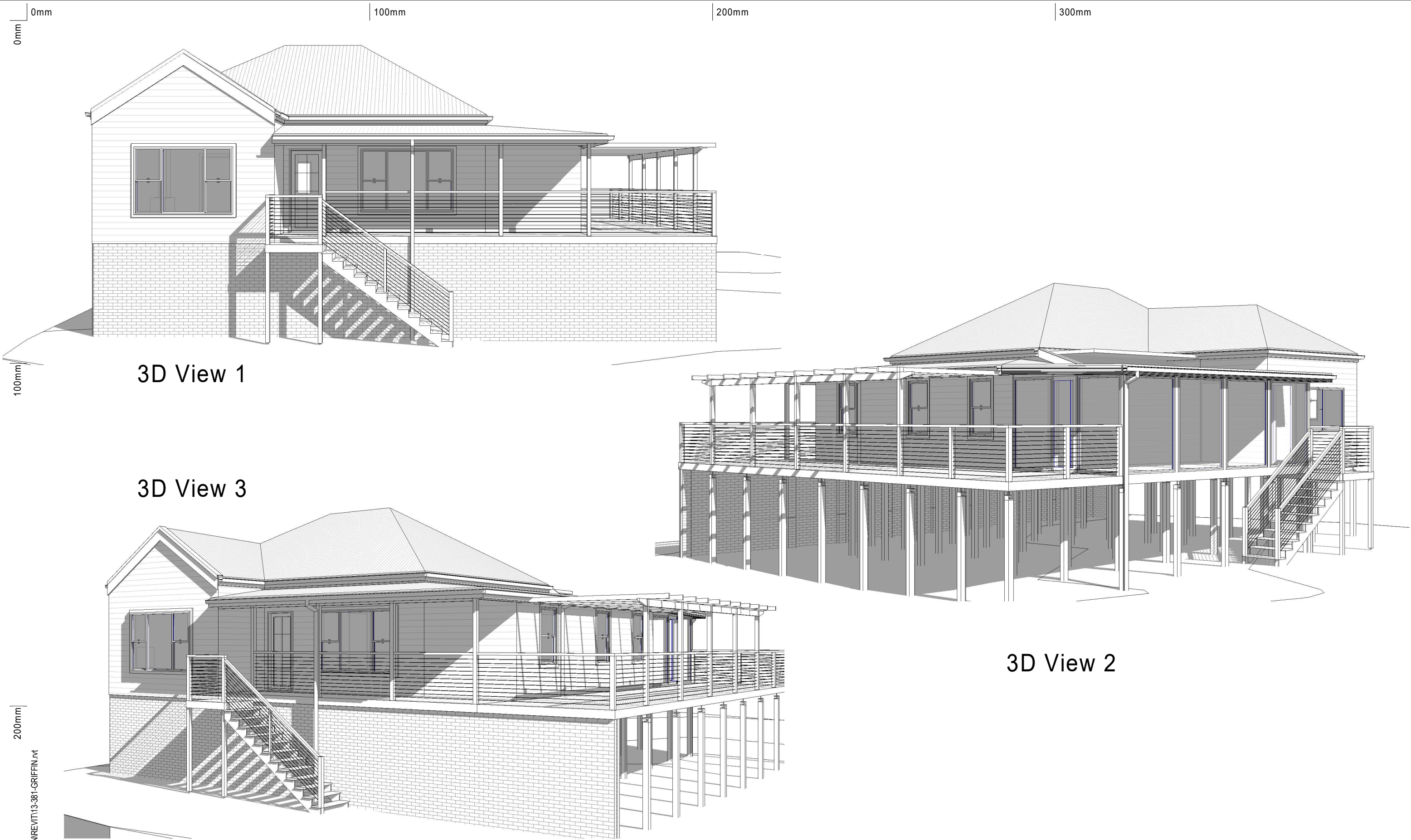
12-08-25

Author

Approver

DWG No. 05

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3D View 1

3D View 3

3D View 2

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BASIX CERT. No.	SCALE	
	DATE	12-08-25
	DRAWN	Author
PLAN Custom Design	CHECKED	Approver
	JOB No.	DWG No. 06
TITLE PERSPECTIVES		

REV	ISSUE TO COUNCIL	12-08-25
	DESCRIPTION	DATE

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